

**Village of Buena Vista Community Planning Process
Community Engagement Session – August 8, 2015
Regina Beach Memorial Hall**

Welcome and Introductions

On Saturday, August 8, 2015 a community engagement session was held at the Town of Regina Beach Memorial Hall for the Village of Buena Vista community planning process.

The purpose of the meeting was to discuss the community planning process and engage the community in some hands-on planning exercises. Over 30 people including community residents (permanent and seasonal), regional and Provincial representatives, and other stakeholders were in attendance. The meeting followed the annual rate payer’s meeting.

The agenda of the meeting was as follows:

- Welcome and Introductions
- Building our Foundations for Success
- Community Planning Overview
- Getting to the Work of Planning – Rolling up our Sleeves
 - Hope-Setting and Visioning
 - Mapping our Future
- Reflections
- Thank You and Next Steps

Background and Context

- Prairie Wild Consulting Co., has been contracted by the Village to engage the community of Buena Vista in planning for the future. This process includes the creation and adoption of an Official Community Plan, Zoning Bylaw, and respective maps as per the requirements of *the Planning and Development Act, 2007* and *the Statements of Provincial Interest*.

Our Roles

Our roles were shared as part of the process. This included roles as facilitative planners, participants, and together. The roles are shared below.

Facilitative Planners	Participants
<ul style="list-style-type: none"> • To prepare the process for this session as part of the overall community planning framework. • To ensure everyone has an equal opportunity to participate. • To help us move through the session in a timely manner. • To utilize our technical skill set to work with you to prepare local planning. 	<ul style="list-style-type: none"> • To participate and provide input into the planning process. • To keep an open mind and participate in individual and group exercises. • To dialogue and provide suggestions and direction for improvements and next steps. • To trust our views are important and respected as an essential part of our success.
<p>Together, for all of us to learn something new, have fun, and share with each other through this process.</p>	

Collaborative Decision Making Model

The community planning process is based on a collaborative decision making model. This model ensures that everyone has the ability to have a voice and participate equally. A collaborative decision making model is utilized to make decisions throughout the process and the long term.

This model allows for all range of views and experiences to be shared, from: *I like it, I like the basic idea, I can live with it, no opinion, I don't want to stop anyone else but I don't want to be involved in its implementation, I don't like it but will support the group decision.* The idea is to create an open space where everyone can voice their views and be heard throughout the process. This model guides the community to create a shared vision that everyone can live with.

Foundations for Success

Foundations for Success were shared and added to amongst the group in order to ensure a productive and successful meeting and process. These include:

- Being organized
- Sharing information
- Forming, storming, performing
- Defined process
- Comfortability
- Good sound system
- Mutual respect
- Participation
- Refreshments
- Laughter

Overall Goal of the Planning Process

The goals for the day and overall were shared with the participants. These include:

- Invited by Administration and Council to engage you in planning for the future of the Village of Buena Vista.
- Our goal is to work with you to develop a long range growth management plan known as an Official Community Plan and associated planning tools i.e. Zoning Bylaw, Future Land Use Map, Zoning District Map, and Reference Maps.
- We are here to ensure that your local wisdom and experience is reflected in this process.
- Answer any questions you may have.

Community Planning Overview

- It was shared that an Official Community Plan (OCP) is a comprehensive document that guides the physical, environmental, social, and cultural development of a municipality. The Zoning Bylaw is an implementation tool of the Plan that includes specific lot requirements (e.g. heights, setbacks, etc.).
- The municipal leaders should be credited for their leadership to update the Village's planning tools as only 40% of municipalities in Saskatchewan have updated OCPs and Zoning Bylaws.
- *The Planning and Development Act, 2007* and *the Statements of Provincial Interest* are the legislative documents that outline the requirements of an OCP and Zoning Bylaw.
 - In 2007 there were major amendments to the Act including when municipalities are undertaking new developments that an updated OCP may be required and that a professional planner is required to sign off on an OCP.
 - It is important the community has input and is reflected in their municipality's planning tools.
- The Planning Process is organized into four phases:
 - Phase 1: Gathering and collecting information;
 - Phase 2: Community assessment and community engagement;
 - Phase 3: Developing the planning tools including the OCP and Zoning Bylaw;
 - Phase 4: Concurrently providing guidance and input into related projects, activities, and programs being undertaken.
- We are currently in Phases 1 and 2 of the community planning process.
- Policies contained within the OCP are written to a number of planning themes including, though not limited to:
 - Transportation & Infrastructure; Natural Resource Development; Community & Social Services: Health & Safety; Recreational Amenities; Land Use; Economic Development & Tourism; Cultural & Heritage Resources; Inter-Municipal Cooperation; Lakeshore Development; and Wildlife & Ecological Sensitivities

Visioning

Participants were divided into groups and given a flip chart paper and markers. They were asked to write down their top five (5) key characteristics they would like to see invested in and retained in Buena Vista in 25+ years. After each group wrote down their top five, the group came together as a whole and shared their vision.

In 2040...

The Village of Buena Vista is:

- Awesome
- Peaceful
- Quiet
- Dark
- No to booming town of 10,000
- Has good drainage
 - Quality and sustainable infrastructure
- Healthy lake
 - Important – jurisdiction
 - We still want it to be known
- Recreation Centre
 - In a community hub
 - Near the ball diamonds
- Walking paths
 - Trails
- Better use of public reserve
 - It is trails
 - Simply called green space
 - Better use of it
- Local business development
- Balanced growth
- Continued growth by 2040, double the public

Hope Setting

Participants were asked to remain in their groups and given a planning theme. The following was shared about the next exercise:

Imagine, in 2040 this Community has been celebrated as one of the best communities in our Province. What did we do to get here?

- Share your story of the key decisions you made to achieve this.
- Your recorder will frame your story into GOALS/AIMS/HOPES
- *Be as specific and general as you wish.*
- The hopes become the goals, objectives, and policies of the OCP.

Participants had the ability to add to the other themes. The themes are summarized below.

Community Economic Development and Tourism

In 2040...

- Great drainage system
- Paved roads
- Sewer system - options
- Community center
 - Pool
 - Daycare
 - Golf course
- New developments have underground infrastructure
- Small commercial area (top of hill)
- Home-based/cottage industry
- Campground/Golf course
- Use of local natural resources
 - Community areas – mixed use with seasonal rental
 - Add **Culvin's** Coulee
 - Use of local and natural resources
 - Kiln and making pottery and use the clay on their land
 - Can use our own resources to help our industry
 - E.g. weave baskets with our reeds, Last Mountain jam
 - Mix of 75% permanent and 25% permanent residents – maintain

Transportation and Infrastructure

In 2040...

- Safe enough for walking and biking, wide enough, roads well maintained
- Access village
 - Far east of Buena Vista
 - Develop already designated on map
- Official, comprehensive drainage plan which affects roads
 - Culverts across roads to take water to lake
- Treatment plant for sewage – build our own plant
- Senior development
 - Facilities where seniors can go
 - Walking track in the winter
 - Regina beach
 - Homes with smaller yards
 - Bungalow
 - Higher density
 - Bareland condominiums
 - Bus services to take us back and forth to communities

Community and Social Services: Health and Safety

In 2040...

- Expand primary health care centre to more days, more services
 - Blood work, x-rays, encourage chiropractor, psychotic, reiki, etc.
- Recreational centre – swimming, gym facilities
- Create safe places to walk
 - Trail along the lake
 - More through the town on the hill
 - Development of some of the green areas
- Evacuation route
 - Need one on far east side of Village
 - No way to access if our one entrance is down
 - Emergency services
 - Link to PDAP and others
- Safe water – set up policies in water treatment that water facility will have capacity to support future growth
- Community support a comprehensive and strong EMO plan

Lakeshore Development

In 2040...

- Maintain natural space
- Beach

- Beach volleyball
- Recreation facilities on beach
 - Kids play structures/swings
- Control the tows and slumps
- Expansion/multiple beach areas
- Winter activities
- Boat launch
- Marina/where/type
- Proper roads/parking

Recreational Amenities

In 2040...

- Walking paths, shoreline (controlled vehicle access)
- Boat launch, ball diamonds
- Controlled lake zones (no motors)
- Ice fishing (four seasons)
- Snowmobile trails

Natural Resource Development

In 2040...

- Green spaces/maintain
- Play areas – including beaches/ball diamond
- Shoreline preservation
- Promote healthy tree/shrub habitat
- Trail maintenance
- Algae blooms and lake contamination
- Pesticide use impact on wildlife
- Campground – weekly/daily rentals

Cultural and Heritage Resources

In 2040...

- Ruth Marvin – stories
- Walking path
- Photos (old)
- Heritage Park
- Dobson Park
- Sandy Beach
- Buena Vista Beach

Wildlife and Ecological Sensitivities

In 2040...

- Have nature
- Have a relationship with nature – deer no artificial feeding
- Maintaining trail to Indigenous area
- Maintain healthy lake and wildlife

Inter-Municipal Dialogue

In 2040...

- Maintain regular meetings – Lumsden Beach, Kinookimaw, Buena Vista, Regina Beach, RM of Lumsden
- Maintain and develop acceptable infrastructure

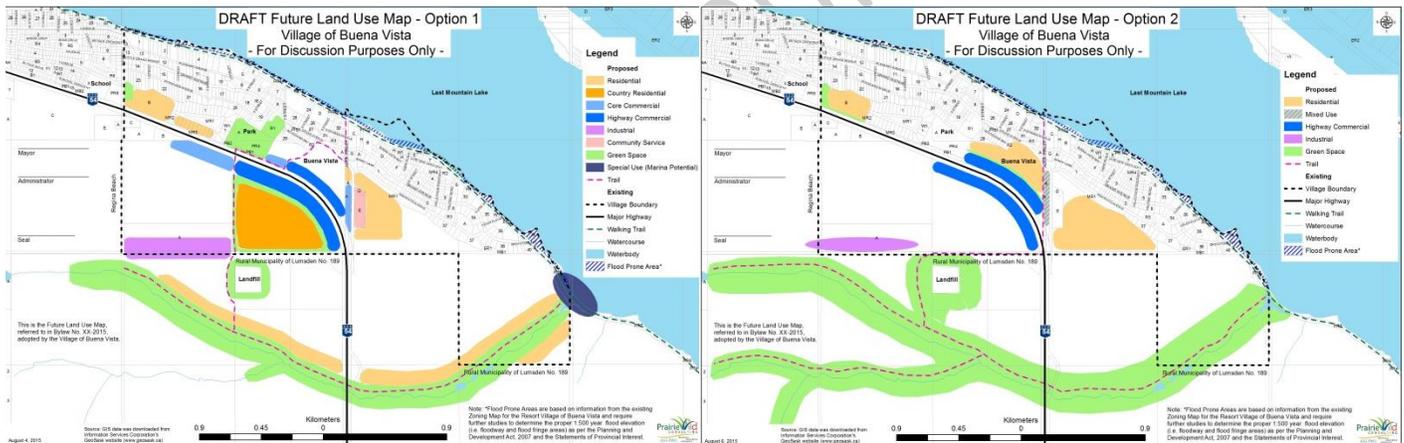
- Maintain local identity while cooperating
- Share services
- Find common goals
- Avoid silos
- Create a long term inter-community plan

Afterwards, the participants were asked to share their hopes with the group and what they noticed about them. The comments are shared below:

- The fact is if we want some of the this development we need a tax base to do that and need the residents to back it
- We don't have a potash mine that will pay for our rink
- More permanent residents
- Greater density
 - Don't want high rises
 - Should have some for seniors and singles that are working

Mapping our Future

For the final exercise, participants were given three (3) maps – a baseline map and two option maps with potential future land uses identified on them. The option maps are shared below. Participants were asked to review the maps and identify areas for future land use potentials for green space, residential, commercial, industrial, recreation and community amenities.



Participants shared their Future Land Use Maps with the larger group. The potentials identified included:

- Top of ridge – elderly high density housing
 - With a walking trail to link with current one
 - Smaller lots with road access
- Community centre by ball diamonds
- Commercial is fine as is
- More housing in that area
- Of the option one map
- Troubled with the current map
 - Extended trail to the coulee and back around
- Orange and residential on the hill side and up
 - Extra walking paths through the town
- Coulee
 - Sensitive area with wildlife
 - Preserve it
 - Natural state
 - Making walking trails
 - Marina
 - Boat launch expansion
 - Housing didn't get too far
 - No construction on ball diamonds
 - No more buildings
 - Add our offices as a community centre

- Using existing office as a recreation hub, move admin office with the shop on the top
- Consideration – public schools
 - Look at catchment areas
- Trail map
 - Walking path - we like the option 1, we extended it
 - Wanted another on top from the east end to where the towns public works office is
 - Wanted high density down along lower edge
 - Apartments for seniors
 - Like to limit building heights
- No more than 2-4 storeys
- Commercial off the access road – existing one
 - Gas station
 - Convenience store
 - Grocery store
- Didn't get into public works
- Rec centre near ball diamonds
- Retain wetlands
- Commercial was fine were it was marked
- Low density is fine
- Want to have a marina, but not near the beaver dams
 - Want to preserve it

Next Steps

- The information from tonight's meeting will be synthesized and put into summary notes that will be circulated around to participants and community members will be invited to participate in a second community meeting that will include a review and further input into the vision, hopes, and future land use map options.

NEXT MEETING

The next meeting will be held on **September __, 2015 at the Memorial Hall from _____**. Refreshment to be provided.

Thank you! ☺

FOR DISCUSSION PURPOSES ONLY